

PLANNING PERMISSION

Planning Act (Northern Ireland) 2011

Application No: **LA08/2024/1103/F**

Date of Application: **23 September 2024**

Site of Proposed
Development:

62b and 62c Drumnabreeze Road and adjacent lands to the south, Magheralin, Craigavon, BT67 0RH and Drumnabreeze Road from 69 Drumnabreeze Road to 137m north-north-east of 60 Drumnabreeze Road, Magheralin, Craigavon

Description of Proposal:

Retention of extension to commercial garage/workshop building (to incorporate additional motorhome valeting and damp work bays), extension to the yard for staff, customer and motorhome parking and existing diesel and gas tanks. Erection of additional extension to the garage/workshop building (to add a display area, plant room with biomass boiler and associated tank, extended goods in/out area, customer facilities (reception, waiting area and toilets), additional preparation bays, and an ancillary office for staff) with associated internal alterations, solar panels on roof and external gantry along the north eastern building for washing vehicles, internal mezzanine floor within the workshop building (to accommodate a canteen, office, training room and meeting room), ancillary customer waiting area building and building for biomass boiler fuel storage. Changes to the internal layout of the existing workshop to convert workshop, offices and canteen areas to ancillary storage area and parts of the external yard area to include the use for motorhome hire and 3 no. overnight motorhome halts. Further extension of the yard into the field to the southwest for the parking and storage of rental motorhomes and associated site works including landscaping, bicycle parking shelter and electric vehicle charging units and improvements to Drumnabreeze Road (Amended Description and Plans)

Applicant: Thompson Leisure Limited
Address: 21a Rowantree Road, Dromore

BT25 1NN

Agent: O'Toole & Starkey Ltd
Address: 1st Floor River House

48-60 High Street

Belfast

Drawing Ref: 01, 08, 10, 11, 13, 14, 20, 23, 02C, 07B, 09A, 12A, 15A, 16A, 17A, 18A, 19A, 21A, 22A, 24A, 25A

The Council in pursuance of its powers under the above-mentioned Act hereby

GRANTS PLANNING PERMISSION

for the above mentioned development in accordance with your application subject to compliance with the following conditions which are imposed for the reasons stated:

1. In respect of those elements of this application for which retrospective permission is hereby granted, this decision notice is issued under Section 55 of The Planning Act (Northern Ireland) 2011.

Reason: This is a retrospective application.

2. In respect of the remaining elements of this application for which planning permission is hereby permitted, they shall be begun before the expiration of 5 years from the date of this permission.

Reason: To comply with section 61 of the Planning Act (Northern Ireland) 2011.

3. The Private Streets (Northern Ireland) Order 1980 as amended by the Private Streets (Amendment) (Northern Ireland) Order 1992.

The Council hereby determines that the width, position and arrangement of the streets, and the land to be regarded as being comprised in the streets, shall be as indicated on drawing no.16A.

Reason: To ensure there is a safe and convenient road system within the development and to comply with the provisions of the Private Streets (Northern Ireland) Order 1980.

4. The works necessary for the improvement of a public road (passing bays) shall be completed in accordance with the details outlined blue on drawing no.16A within 3 months of the date of this approval. [The Department hereby attaches to the determination a requirement under Article 3(4A) of the Private Streets (Northern Ireland) Order that such works shall be carried out in accordance with an agreement under Article 3 (4C)].

Reason: To ensure that the road works considered necessary to provide a proper, safe and convenient means of access to the development are carried out.

5. The hard surfaced areas shall be constructed and permanently marked in accordance with the approved drawing no.24 within 3 months of the date of this

approval to provide adequate facilities for parking, servicing and circulating within the site. No part of these hard surfaced areas shall be used for any purpose at any time other than for the parking and movement of vehicles.

Reason: To ensure that adequate provision has been made for parking, servicing and traffic circulation within the site.

6. The parking facilities detailed in condition no.5 above shall be open for use during all hours of business.

Reason: To ensure that adequate provision has been made for parking, servicing and traffic circulation within the site.

7. If during the development works, new contamination or risks are encountered which have not previously been identified, works shall cease and the Planning Authority shall be notified immediately. This new contamination shall be fully investigated in accordance with the Land Contamination: Risk Management (LCRM) guidance available at:

<https://www.gov.uk/guidance/land-contamination-how-to-manage-the-risks>

In the event of unacceptable risks being identified, a remediation strategy including timescales for any proposed measures to be implemented shall be agreed with the Planning Authority in writing and subsequently implemented and verified to its satisfaction in accordance with the timescales set out in the approved strategy.

Reason: Protection of environmental receptors to ensure the site is suitable for use.

8. After completing the remediation works under condition no.7; and prior to occupation of the development, a verification report shall be submitted in writing and agreed with the Planning Authority. This report shall be completed by competent persons in accordance with the Land Contamination: Risk Management (LCRM) guidance available at:

<https://www.gov.uk/guidance/land-contamination-how-to-manage-the-risks>

The verification report shall present all the remediation, waste management and monitoring works undertaken and demonstrate the effectiveness of the works in managing all the risks and wastes in achieving the remedial objectives.

Reason: Protection of environmental receptors to ensure the site is suitable for use.

9. Prior to any work commencing on the development hereby permitted, a programme of archaeological work (POW) prepared by a qualified archaeologist, shall be submitted to and approved in writing by the Council in consultation with Historic Environment Division, Department for Communities. The POW shall provide for:

- The identification and evaluation of archaeological remains within the site;
- Mitigation of the impacts of development through licensed excavation

recording or by preservation of remains in-situ;

- Post-excavation analysis sufficient to prepare an archaeological report, to publication standard if necessary; and
- Preparation of the digital, documentary and material archive for deposition.

Reason: to ensure that archaeological remains within the application site are properly identified, and protected or appropriately recorded.

10. No site works of any nature or development shall take place other than in accordance with the programme of archaeological work approved under condition no.9

Reason: to ensure that archaeological remains within the application site are properly identified and protected or appropriately recorded.

11. A programme of post-excavation analysis, preparation of an archaeological report, dissemination of results and preparation of the excavation archive shall be undertaken in accordance with the programme of archaeological work approved under condition no.9. These measures shall be implemented, and a final archaeological report shall be submitted to Armagh City, Banbridge and Craigavon Borough Council within 12 months of the completion of archaeological site works, or as otherwise agreed in writing with Armagh City, Banbridge and Craigavon Borough Council.

Reason: To ensure that the results of archaeological works are appropriately analysed and disseminated and the excavation archive is prepared to a suitable standard for deposition.

12. All hard and soft landscape works shall be carried out in accordance with the approved details and the appropriate British Standard or other recognised Codes of Practice. The hardscaping works shall be completed prior to the development hereby permitted commencing use. The soft landscape works shall be carried out during the first available planting season after the date of this decision.

Reason: To ensure the provision, establishment and maintenance of a high standard of landscape.

13. The development hereby permitted shall only be used in conjunction with and ancillary to the existing Class B3 use on site for which a CLUD was granted under LA08/2022/0027/LDE and no part of the development hereby permitted shall be severed to form a separate independent operation without the prior approval of the Council.

Reason: To control future development on the site.

14. The hours of operation of the development hereby permitted shall be restricted to

09:00 to 17:30 hours Monday to Friday.

Reason: In the interests of residential amenity.

15. The earth removal, foundations and building works required during construction works shall only be carried out between the hours of 07.00 hours to 19.00 hours Monday – Friday, 07.00 to 17.00 hours on Saturdays and not at any time on Sundays, Bank or Public Holidays.

Reason: To safeguard the living conditions of residents in nearby properties.

16. During the construction phase of the development hereby approved, deliveries to and removals from the site shall only take place within the permitted hours detailed in Condition 15 above and all loading and unloading shall take place within the curtilage of the site only.

Reason: In the interests of residential amenity, road safety and the convenience of road users.

17. No more than 52 parking spaces shall be used for the purposes of hiring vehicles from the site.

Reason: To ensure the hiring of vehicles remains ancillary to the primary use (Class B3) and comply with PPS 4.

18. No more than 3 parking spaces shall be used at any one time for the purposes of overnight halting.

Reason: To ensure the hiring of vehicles remains ancillary to the primary use (Class B3) and comply with PPS 4.

Informatives

1. This permission does not alter or extinguish or otherwise affect any existing or valid right of way crossing, impinging or otherwise pertaining to these lands.
2. This permission does not confer title. It is the responsibility of the developer to ensure that he controls all the lands necessary to carry out the proposed development.
3. This permission grants planning permission only and other statutory approvals may be required. The developer/applicant are advised that there are other informatives relevant to the application, which are attached to the consultation responses. Please make sure to check all consultation responses at <https://planningregister.planningsystemni.gov.uk/simple-search> and adhere to all the relevant informatives.

Authorised Officer: Liam McCrum

Dated: 16th June 2025

Senior Planning Officer

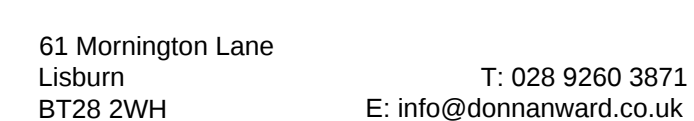
Armagh City Banbridge & Craigavon Borough Council

A diagram showing a house with a north arrow pointing upwards. A circular path with four star markers is drawn around the house, indicating a clockwise direction of travel.

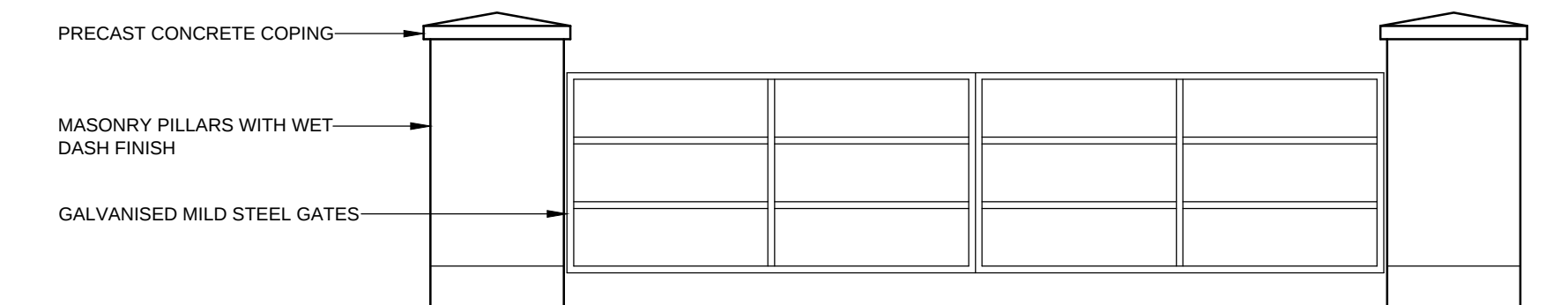


Rev	Date	Notes

Drawing Record

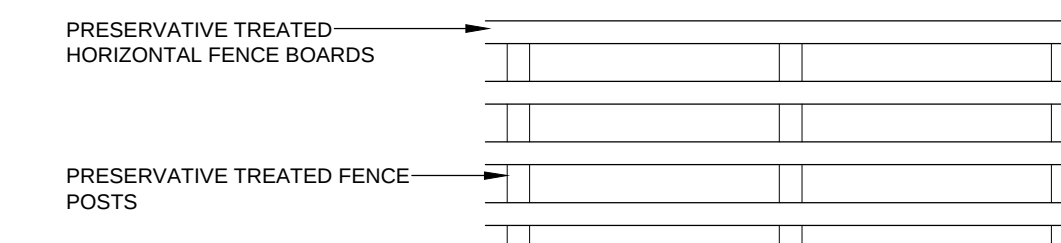


DRAWING STATUS			
PRELIMINARY	PLANNING (SUBJECT)	YES	NO
TRACED	YES	NO	NO
COMPLETION DATE	NO	NO	NO
AS BUILT RECORD	NO	NO	NO



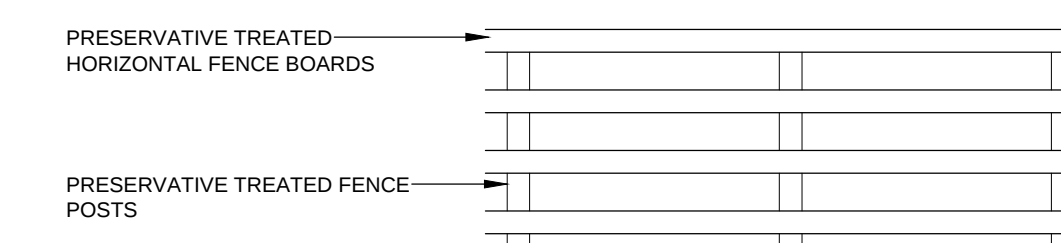
EXISTING SITE ENTRANCE PILLARS & GATES

Scale 1:50



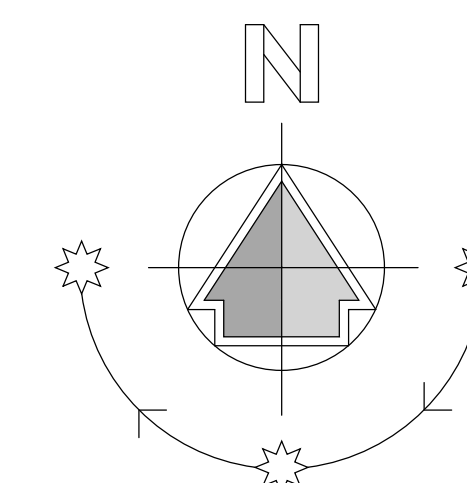
EXISTING BOUNDARY FENCE

Scale 1:50



NEW BOUNDARY FENCE

Scale 1:50



PROPOSED GROUND LEVELS = G.L.
EXISTING GROUND LEVELS = A.M.S.L.

PROPOSED SITE PLAN

PLANTING SCHEDULE

Featherd Trees					
Species	Girth	Height	Spec	No.	
Fagus Sylvatica	4-8	1.5-2.0m (R/B)	well balanced	15	

Drawing Number 02C

REVISIONS	
1	15/03/2023 PLANNING REVISIONS
2	15/03/2023 PLANNING REVISIONS
3	15/03/2023 PLANNING REVISIONS
4	15/03/2023 PLANNING REVISIONS
5	15/03/2023 PLANNING REVISIONS
6	15/03/2023 PLANNING REVISIONS
7	15/03/2023 PLANNING REVISIONS
8	15/03/2023 PLANNING REVISIONS
9	15/03/2023 PLANNING REVISIONS
10	15/03/2023 PLANNING REVISIONS

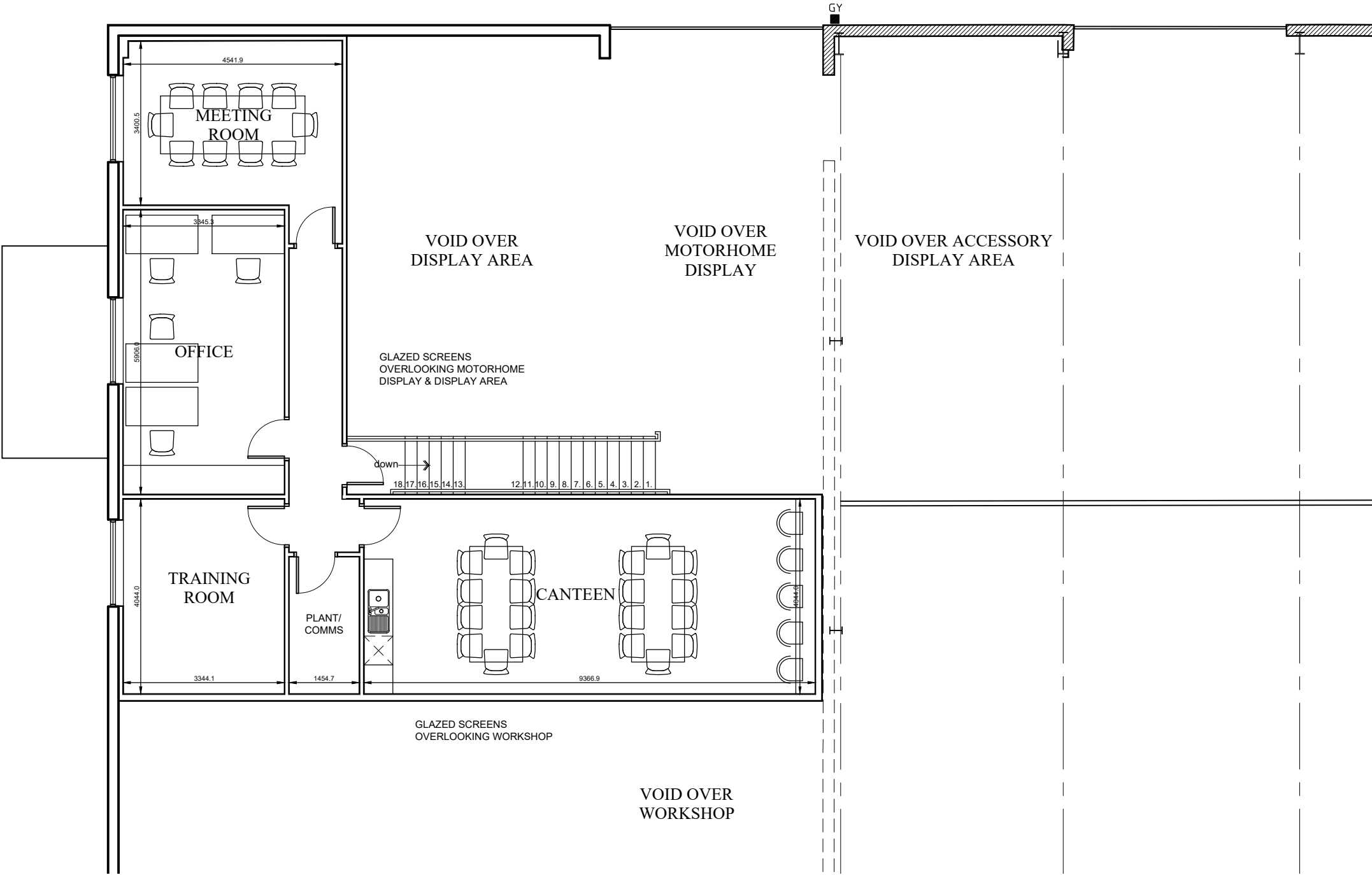
donnanward

Client: Thompson Leisure
Project: Extension & Rebuild of Existing Commercial Unit 62 Drummabreeze Road Maghera Craigavon BT67 0RH

Drawing Title: Proposed Site Plan	Scale: 1:250	Drawn By: FW	Date: 06-03-2025
Drawing No: 03	Revision: C		

Donnanward Limited is Registered in Northern Ireland Company No 000200

DRAWING STATUS	
PRELIMINARY	☐
PLANNING SUBMISSION	☒
TENDER	☐
CONSTRUCTION ISSUE	☐
AS BUILT RECORD	☐



PROPOSED MEZZANINE PLAN

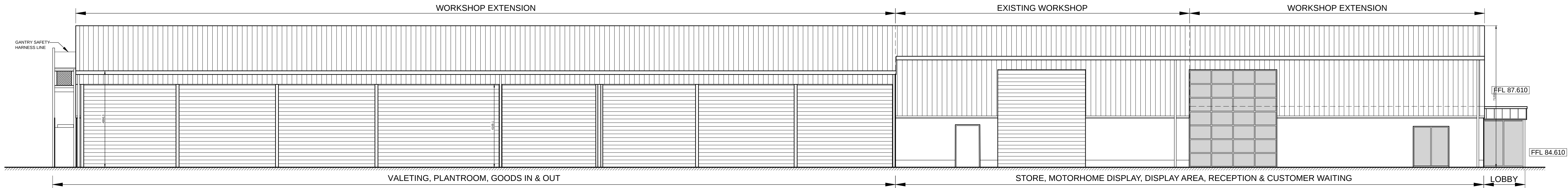
Drawing No: 08



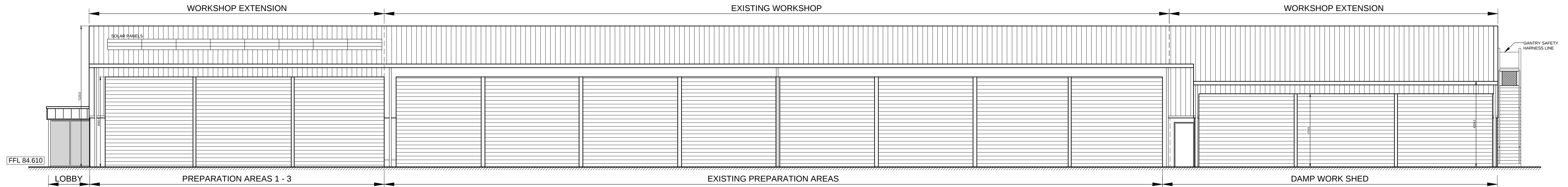
61 Mornington Lane
Lisburn
BT28 2WH
T: 028 9260 3871
E: info@donnanward.co.uk

CLIENT Thompson Leasure		
PROJECT Extension & Refurbishment of Existing Commercial Unit 62 Drumnabreeze Road Magheralin Craigavon BT67 0RH		
DATE 04-10-2023	DRAWING Proposed Mezzanine Plan	
SCALE 1:100	DRAWING NO 07	REV

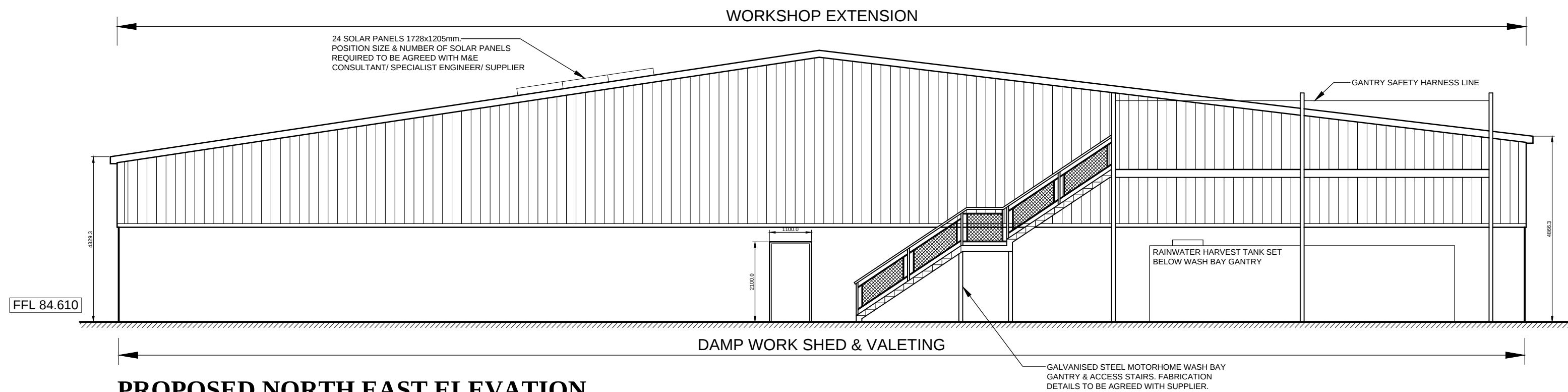
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PRELIMINARY	☐
PLANNING SUBMISSION	☒
TENDER	☐
CONSTRUCTION	☐
AS BUILT RECORD	☐



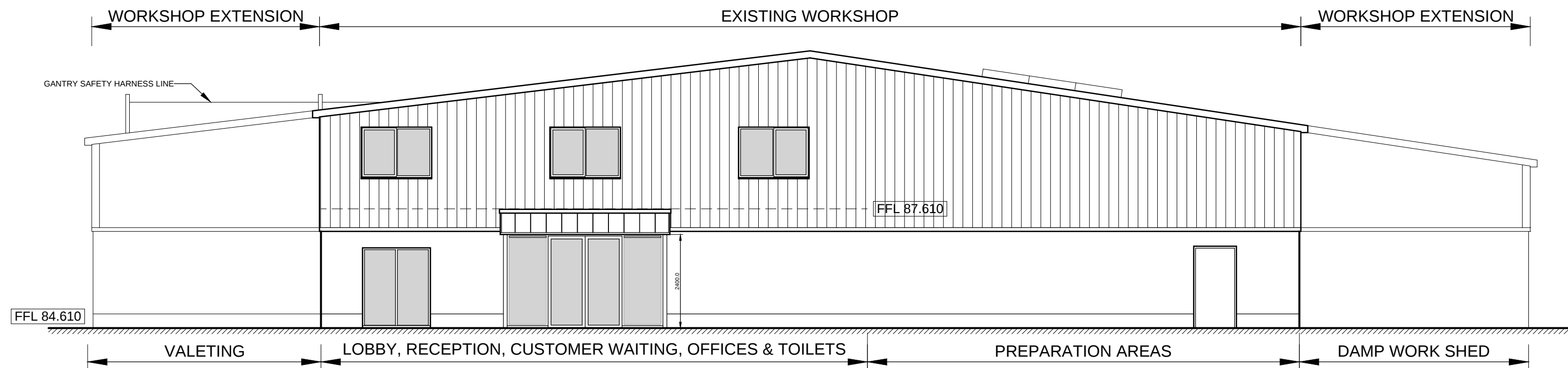
PROPOSED NORTH WEST ELEVATION



PROPOSED SOUTH EAST ELEVATION



PROPOSED NORTH EAST ELEVATION



PROPOSED SOUTH WEST ELEVATION

SCHEDULE OF NEW EXTERNAL FINISHES	
ROOF CLADDING:-	GREEN TRAPEZOIDAL ROOF PANELS TO MATCH EXISTING.
GUTTERING:-	GREEN ALUMINIUM GUTTERING AND BLACK DOWNPIPES TO MATCH EXISTING.
BLOCKWORK WALLS:-	WET DASH WITH NATURAL FINISH TO MATCH EXISTING.
WALL CLADDING:-	GREEN TRAPEZOIDAL WALL PANELS TO MATCH EXISTING.
FLASHINGS:-	GREEN ALUMINIUM TO MATCH EXISTING.
ROLLER DOORS:-	GREEN ALUMINIUM ROLLER DOORS TO MATCH EXISTING.
ENTRANCE DOOR & SCREENS:-	GREEN P.P.C. ALUMINIUM.
ENTRANCE LOBBY FLAT ROOF:-	TROCAL TYPE S 1.5mm THICK PVC-P COLOUR ANTHRACITE.
ENTRANCE LOBBY FASCIA:-	ZINC STANDING SEAM VERTICAL CLADDING

Rev	Date	Notes
A	OCT 2024	PLANNING REVISIONS ADDED.
Rev	Date	Notes
Drawing Record		



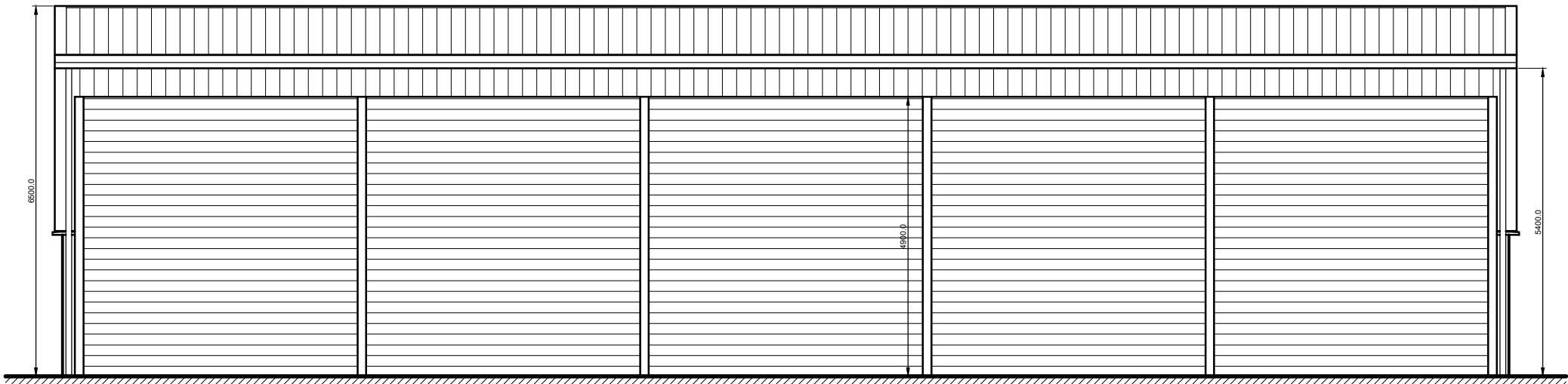
61 Morningside Lane
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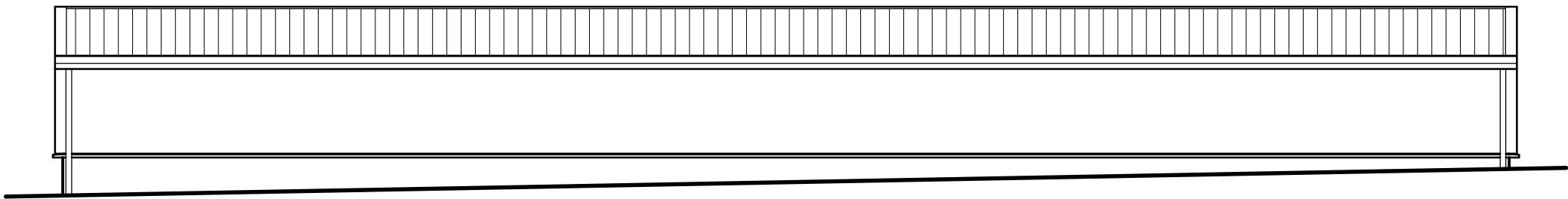
Client	Thompson Leisure	
Project	Extension & Refurbishment of Existing Commercial Unit 62 Drumnabreeze Road Magheralin Craigavon BT67 0RH	
Drawing Title	Workshop Elevations Proposed Layout	
Scale	Drawn By	Date
1:100	FW	17-05-2022
Drawing Number	Revision	
08	B	

SCHEDULE OF EXISTING EXTERNAL FINISHES	
ROOF CLADDING:-	GREEN TRAPEZOIDAL ROOF PANELS.
GUTTERING:-	GREEN ALUMINIUM GUTTERING AND BLACK DOWNPIPES.
BLOCKWORK WALLS:-	WET DASH WITH NATURAL FINISH.
WALL CLADDING:-	GREEN TRAPEZOIDAL WALL PANELS.
FLASHINGS:-	GREEN ALUMINIUM.
ROLLER DOORS:-	GREEN ALUMINIUM ROLLER DOORS.

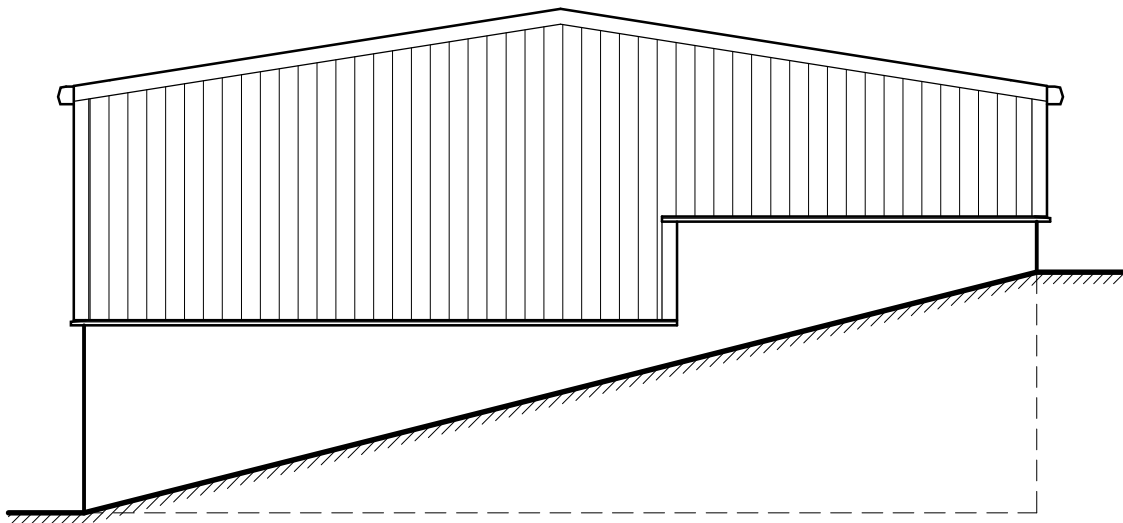
DRAWING STATUS	
PRELIMINARY	☐
PLANNING SUBMISSION	☒
TENDER	☐
CONSTRUCTION ISSUE	☐
AS BUILT RECORD	☐



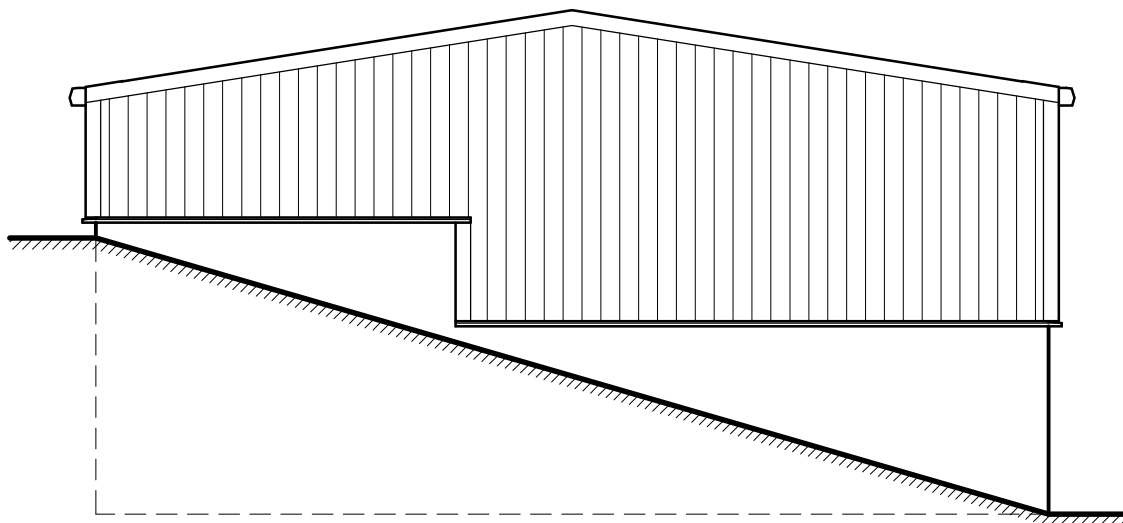
SOUTH EAST ELEVATION



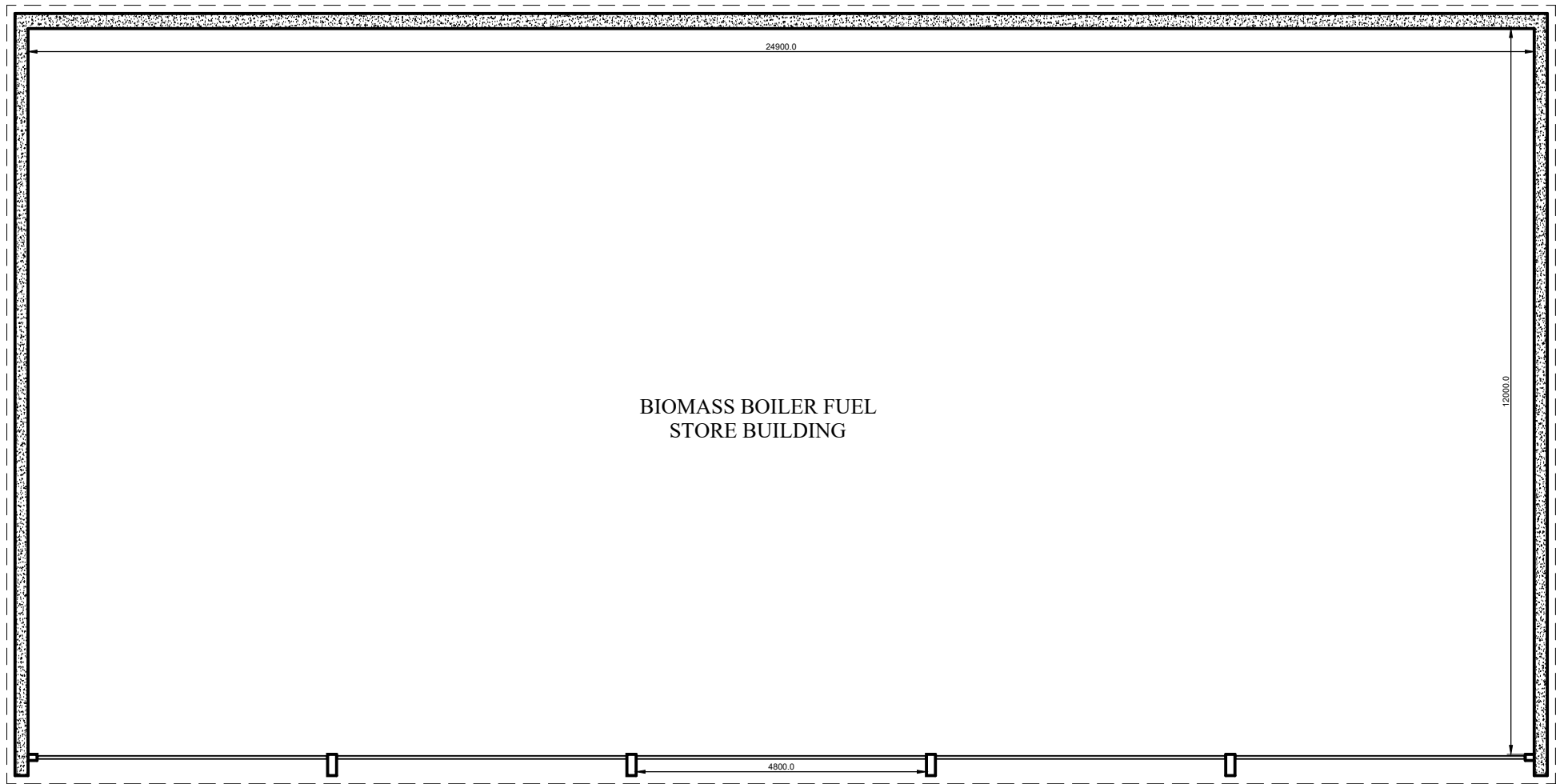
NORTH WEST ELEVATION



NORTH EAST ELEVATION



SOUTH WEST ELEVATION



FLOOR PLAN

Drawing No: 10

Rev	Date	Notes

Drawing Record

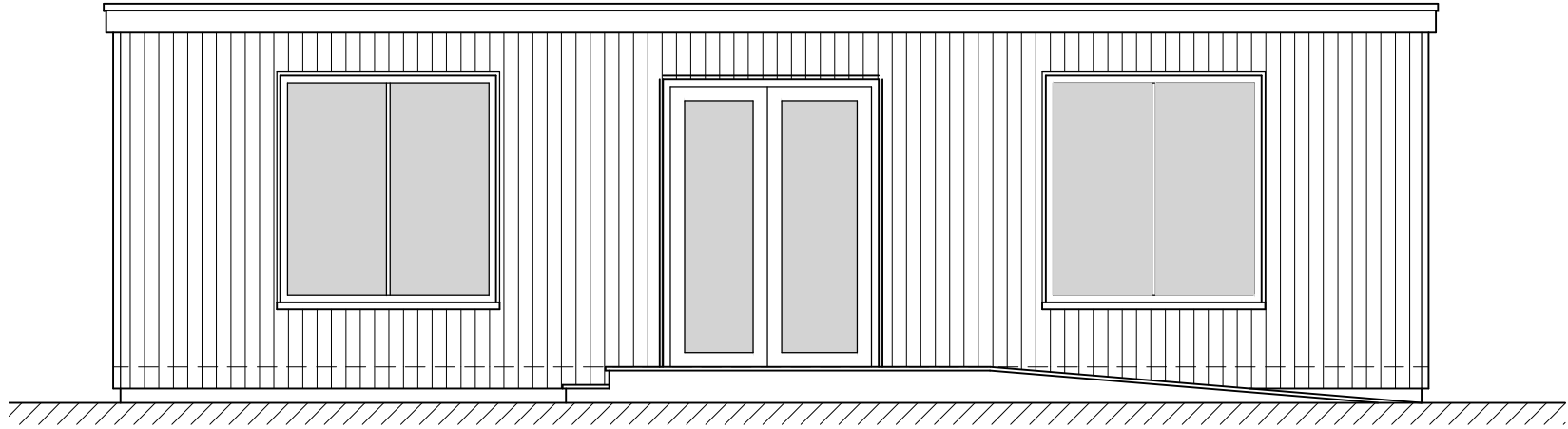


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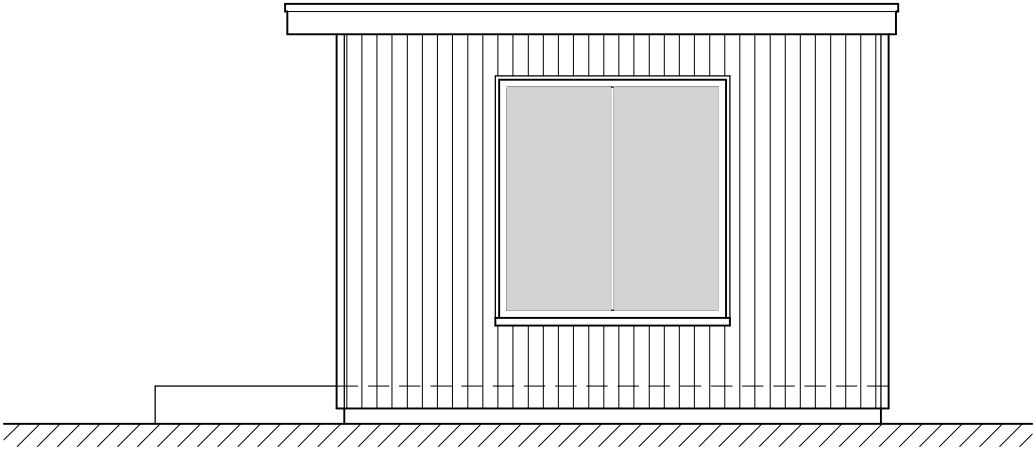
SCHEDULE OF EXTERNAL FINISHES

- ROOF CLADDING:- GREEN TRAPEZOIDAL ROOF PANELS TO MATCH EXISTING WORKSHOP.
- GUTTERING:- GREEN ALUMINIUM GUTTERING AND BLACK DOWNPIPES TO MATCH EXISTING WORKSHOP.
- MASONRY WALLS:- CONCRETE NATURAL FINISH.
- WALL CLADDING:- GREEN TRAPEZOIDAL WALL PANELS TO MATCH EXISTING WORKSHOP.
- FLASHINGS:- GREEN ALUMINIUM TO MATCH EXISTING WORKSHOP.
- ROLLER DOORS:- GREEN ALUMINIUM ROLLER DOORS TO MATCH EXISTING WORKSHOP.

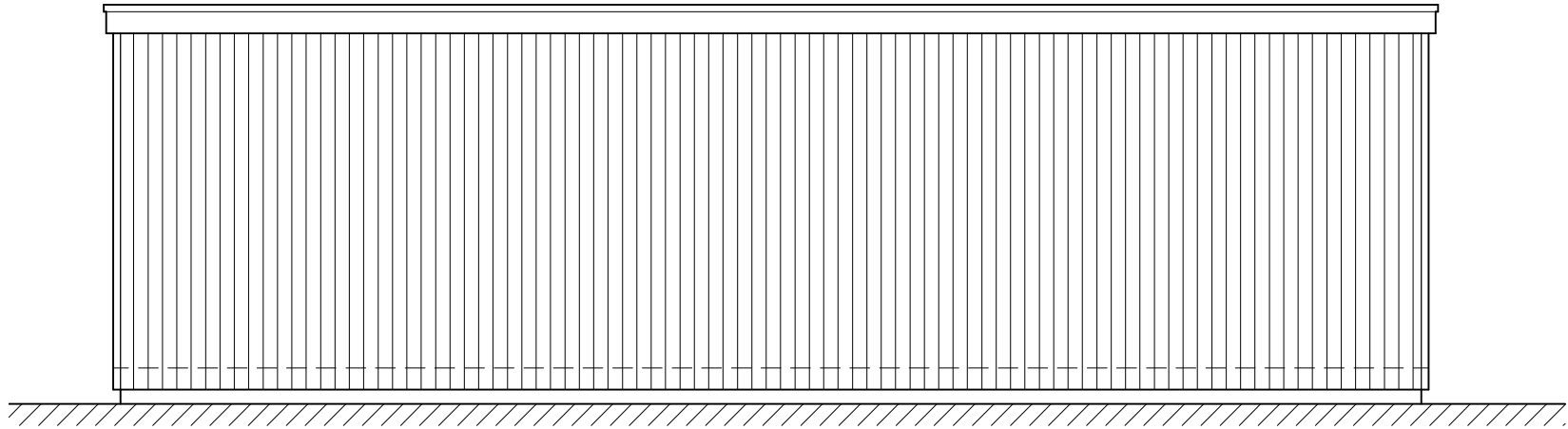
Client Thompson Leasure		
Project Extension & Refurbishment of Existing Commercial Unit 62 Drumnabreeze Road Magheralin Craigavon BT67 0RH		
Drawing Title Biomass Boiler Fuel Store Building Proposed Elevations & Plan		
Scale 1:100	Drawn By FW	Date 14-11-2022
Drawing Number 09		Revision



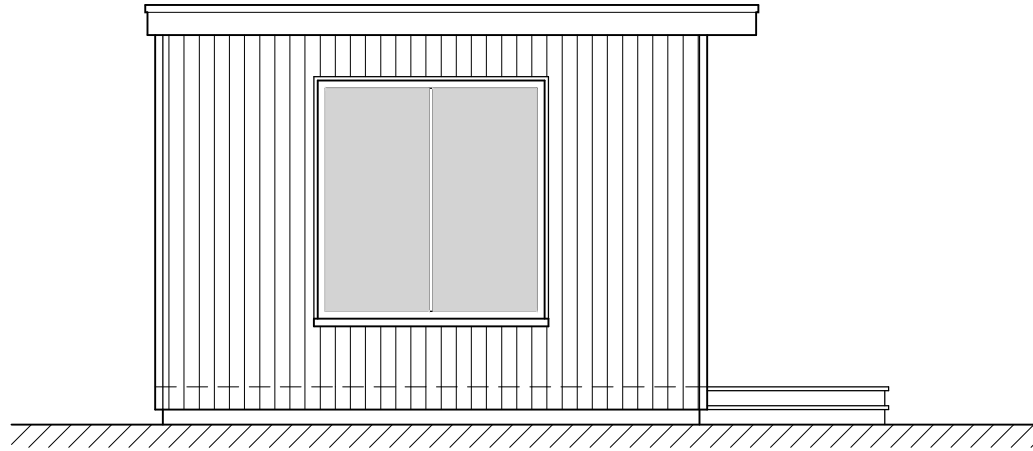
SOUTH EAST ELEVATION



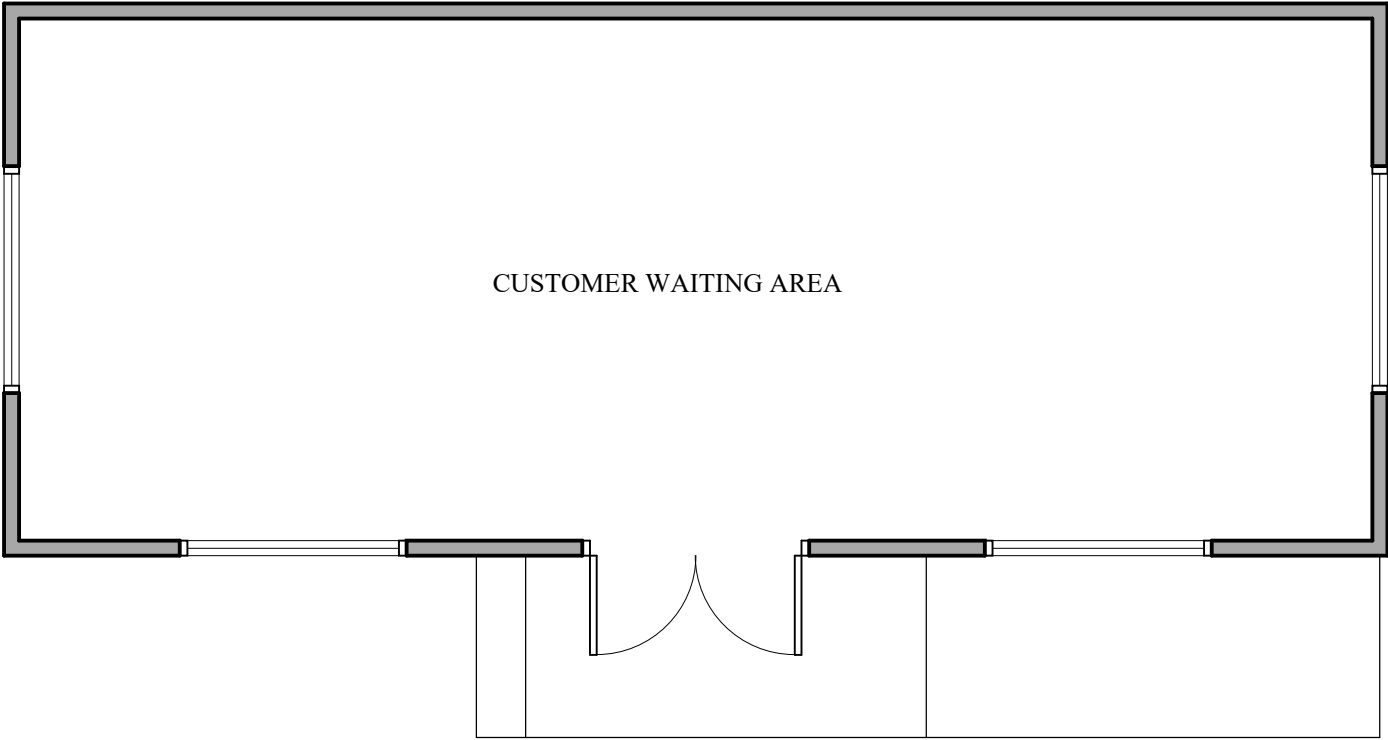
NORTH EAST ELEVATION



NORTH WEST ELEVATION



SOUTH WEST ELEVATION



FLOOR PLAN

SCHEDULE OF EXTERNAL FINISHES

- FLAT ROOF :- GREY ROOFING FELT.
- WALL CLADDING:- WESTERN RED CEDAR WEATHERBOARD.
- WINDOWS & DOORS:- GREY UPVC.

DRAWING STATUS	
PRELIMINARY	☐
PLANNING SUBMISSION	☒
TENDER	☐
CONSTRUCTION ISSUE	☐
AS BUILT RECORD	☐

Drawing No: 11

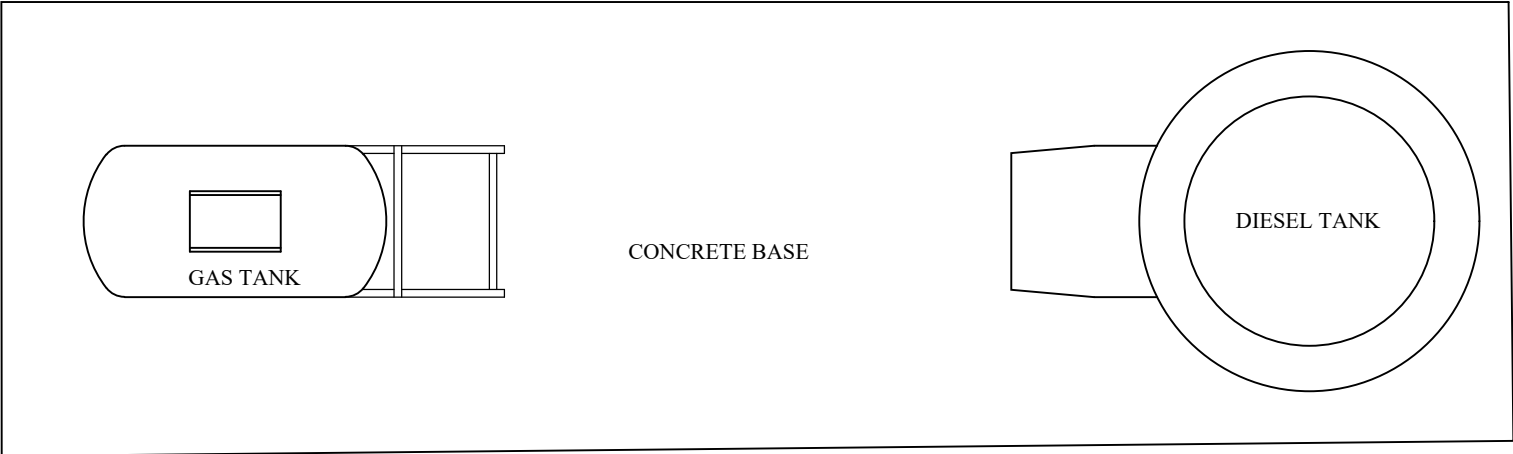


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CLIENT Thompson Leasure		
PROJECT Extension & Refurbishment of Existing Commercial Unit 62 Drumnabreeze Road Magheralin Craigavon BT67 0RH		
DATE 20-12-2023	DRAWING Customer Waiting Area	
SCALE 1:50	DRAWING NO 10	REV

DRAWING STATUS	
PRELIMINARY	☐
PLANNING SUBMISSION	☒
TENDER	☐
CONSTRUCTION ISSUE	☐
AS BUILT RECORD	☐

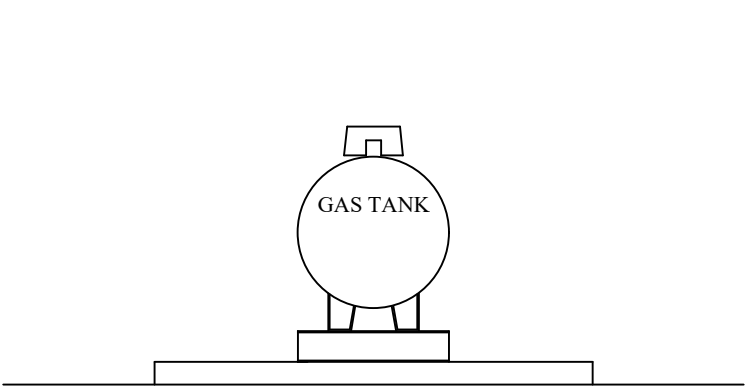
Drawing Number 12A



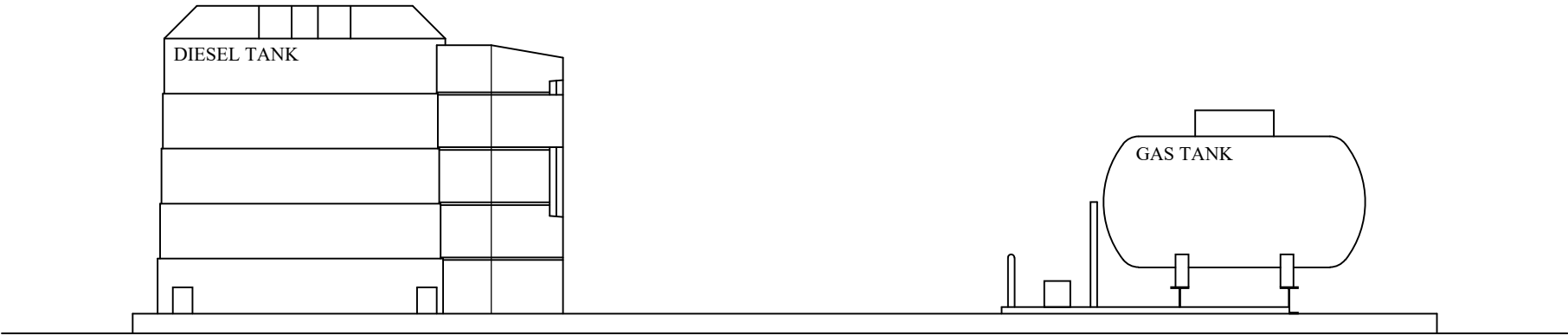
PLAN



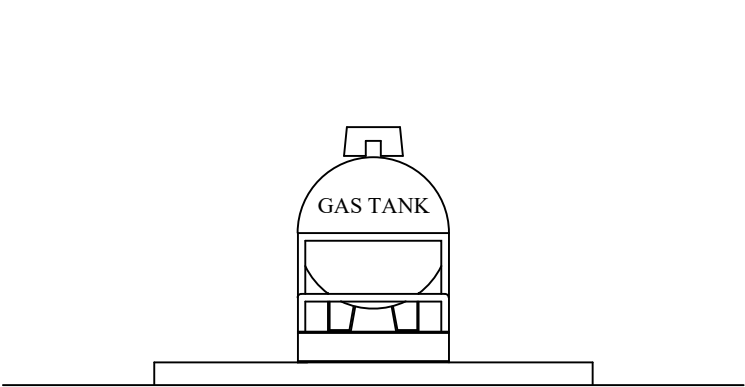
SOUTH WEST ELEVATION



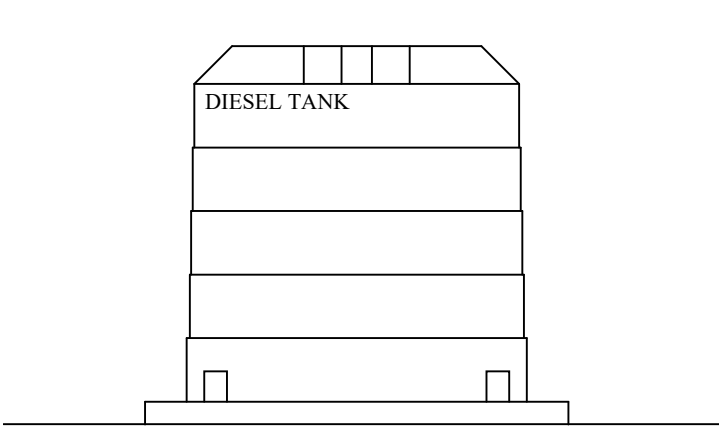
NORTH WEST ELEVATION



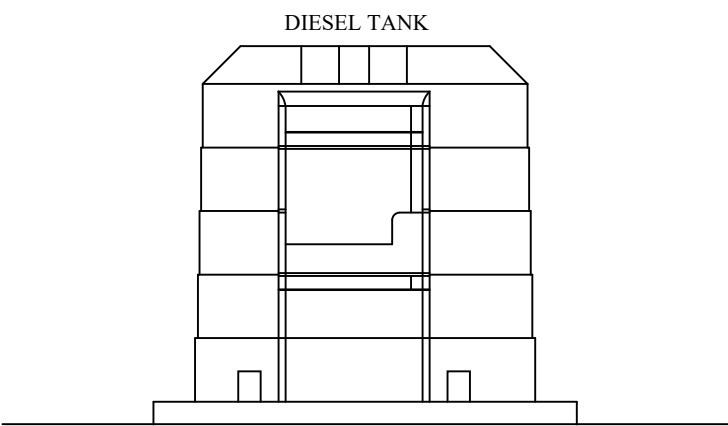
NORTH EAST ELEVATION



SOUTH EAST ELEVATION



SOUTH EAST ELEVATION



NORTH WEST ELEVATION

SCHEDULE OF EXTERNAL FINISHES

DIESEL TANK :- DARK GREEN PLASTIC.
GAS TANK:- WHITE METAL.
BASE:- CONCRETE.

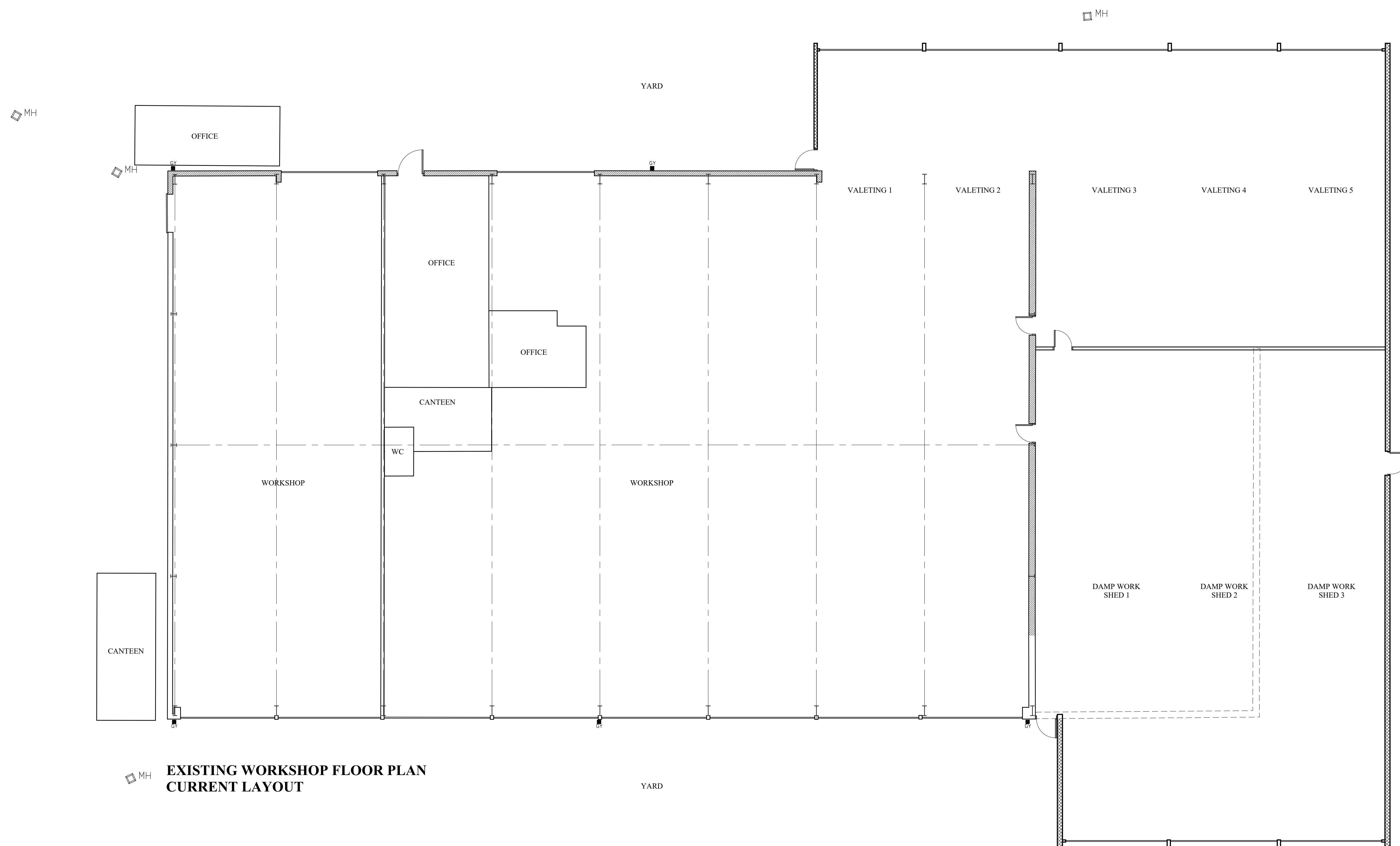
REV. A OCTOBER 2024 PLANNING REVISIONS ADDED.



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CLIENT Thompson Leasure		
PROJECT Extension & Refurbishment of Existing Commercial Unit 62 Drumnabreeze Road Magheralin Craigavon BT67 0RH		
DATE 20-12-2023	DRAWING Existing Diesel & Gas Tanks	
SCALE 1:50	DRAWING NO 11	REV A

DRAWING STATUS	
PRELIMINARY	
PLANNING SUBMISSION	
TENDER	
CONSTRUCTION ISSUE	
AS BUILT RECORD	



50.

Drawing No: 13

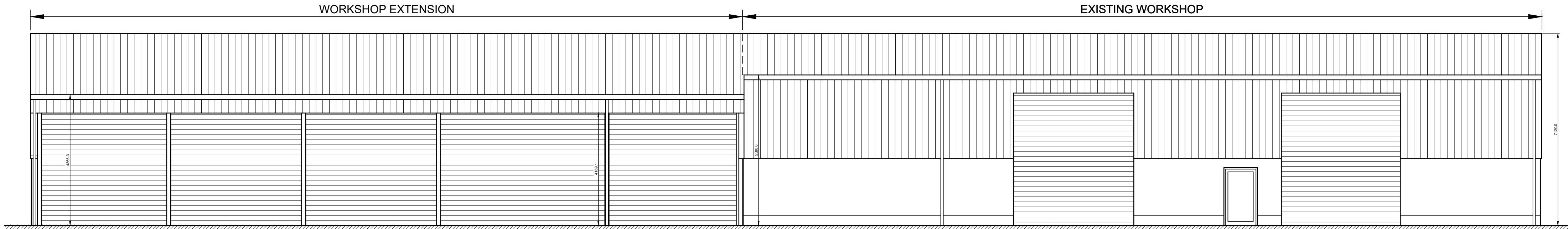
Rev	Date	Notes

Drawing Record

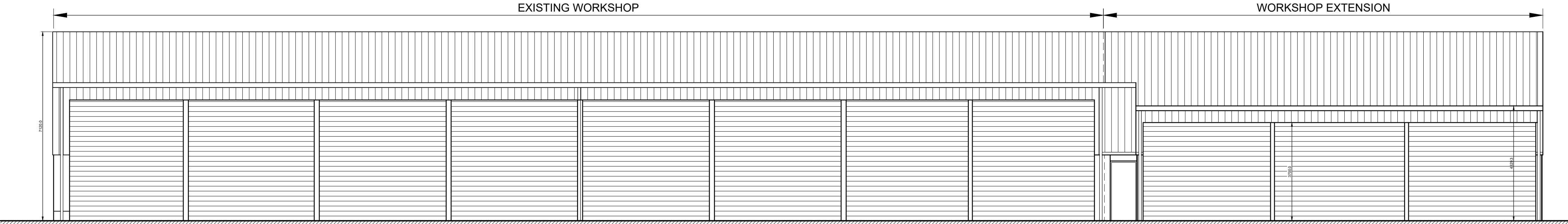
61 Mornington Lane
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BT28 2WH E: info@donnanward.co.uk

Client Thompson Leisure		
Project Extension & Refurbishment of Existing Commercial Unit 62 Drumnabreeze Road Magheralin Craigavon BT67 0RH		
Drawing Title Workshop Ground Floor Plan Current Layout		
Scale 1:100	Drawn By FW	Date 29-07-2024
Drawing Number		Revision
12		

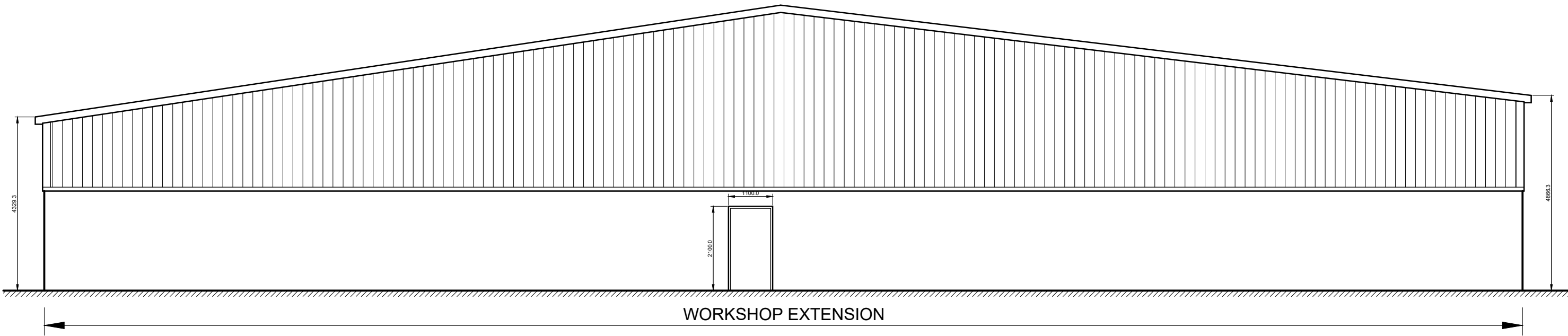
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PLANNING SUBMISSION	☒
TENDER	☐
CONSTRUCTION ISSUE	☐
AS BUILT RECORD	☐



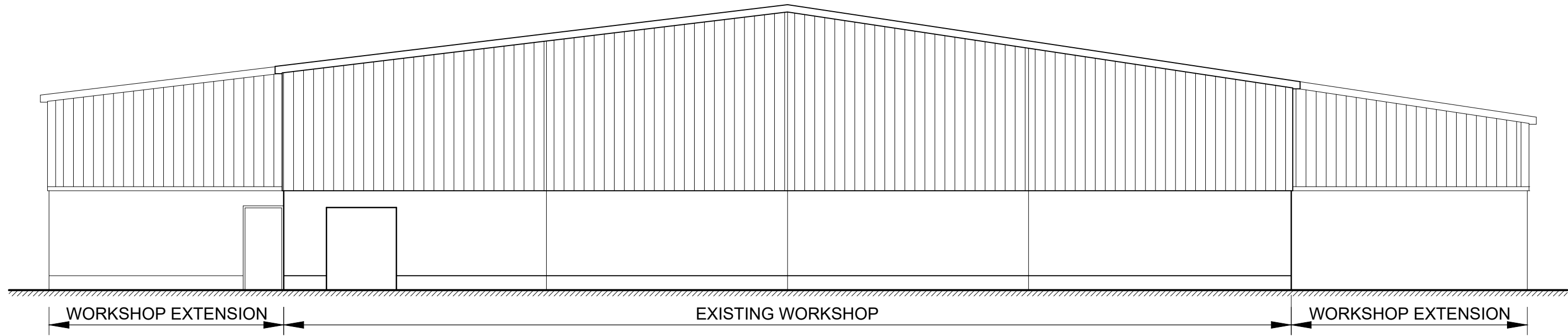
CURRENT LAYOUT NORTH WEST ELEVATION



CURRENT LAYOUT SOUTH EAST ELEVATION



CURRENT LAYOUT NORTH EAST ELEVATION



CURRENT LAYOUT SOUTH WEST ELEVATION

Drawing No: 14

SCHEDULE OF NEW EXTERNAL FINISHES

- ROOF CLADDING:- GREEN TRAPEZOIDAL ROOF PANELS TO MATCH EXISTING.
- GUTTERING:- GREEN ALUMINIUM GUTTERING AND BLACK DOWNPIPES TO MATCH EXISTING.
- BLOCKWORK WALLS:- WET DASH WITH NATURAL FINISH TO MATCH EXISTING.
- WALL CLADDING:- GREEN TRAPEZOIDAL WALL PANELS TO MATCH EXISTING.
- FLASHINGS:- GREEN ALUMINIUM TO MATCH EXISTING.
- ROLLER DOORS:- GREEN ALUMINIUM ROLLER DOORS TO MATCH EXISTING.

Rev	Date	Notes
Drawing Record		



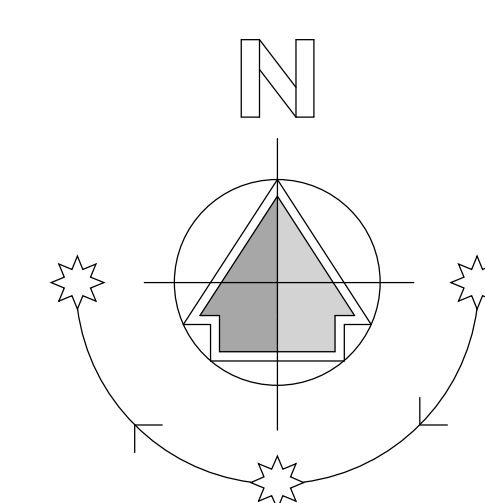
61 Morningside Lane
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Client Thompson Leisure		
Project Extension & Refurbishment of Existing 62 Drumnabreeze Road Commercial Unit Magheralin Craigavon BT67 0RH		
Drawing Title Workshop Elevations Current Layout		
Scale 1:100	Drawn By FW	Date 29-07-2021
Drawing Number		Revision
13		

SCHEDULE OF EXISTING EXTERNAL FINISHES

- ROOF CLADDING:- GREEN TRAPEZOIDAL ROOF PANELS.
- GUTTERING:- GREEN ALUMINIUM GUTTERING AND BLACK DOWNPIPES.
- BLOCKWORK WALLS:- WET DASH WITH NATURAL FINISH.
- WALL CLADDING:- GREEN TRAPEZOIDAL WALL PANELS.
- FLASHINGS:- GREEN ALUMINIUM.
- ROLLER DOORS:- GREEN ALUMINIUM ROLLER DOORS.

PRELIMINARY	
PLANNING SUBMISSION	
TENDER	
CONSTRUCTION ISSUE	
AS BUILT RECORD	



SITE PLAN CURRENT LAYOUT

A	OCT 2024	PLANNING REVISIONS ADDED.
Rev	Date	Notes

Drawing Record

dw donnanwar

61 Mornington Lane
Lisburn T: 028 9260 31
BT28 2WH E: info@donnanward.co

Client
Thompson Leisure

Extension & Refurbishment of Existing
Commercial Unit 62 Drumnabreeze Road
Magheralin Craigavon BT67 0RH

Drawing Title	
Site Plan	
Current Layout	

Scale 1:500	Drawn By FW	Date 21-01-2022
Drawing Number		Revised

14

JPC Consulting

Blick Studios
p.02890 615 913

46 Hill Street
m.07746 087 195

Belfast BT1 2LB
e.jpcconsulting@gmail.com

PROJECT

Drumnabreeze Road, Magheralin

DWG NAME

Private Streets Determination Plan
(general arrangement PSD plan - 01 of 4)

DATE

February 2025

SCALE

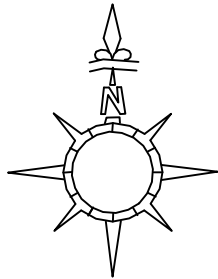
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DRAWING

JPC005

REVISION

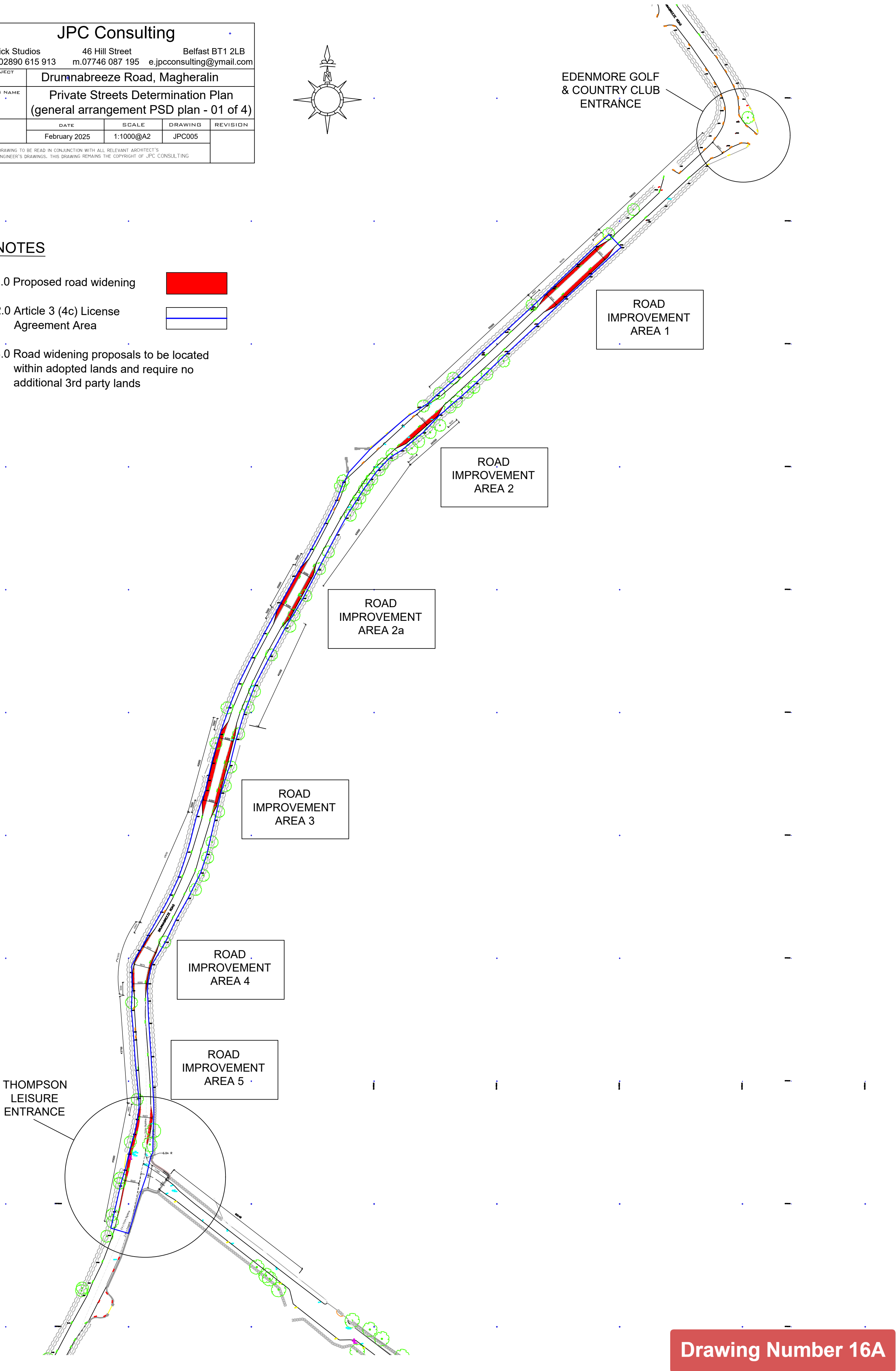
THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECT'S
AND ENGINEER'S DRAWINGS. THIS DRAWING REMAINS THE COPYRIGHT OF JPC CONSULTING

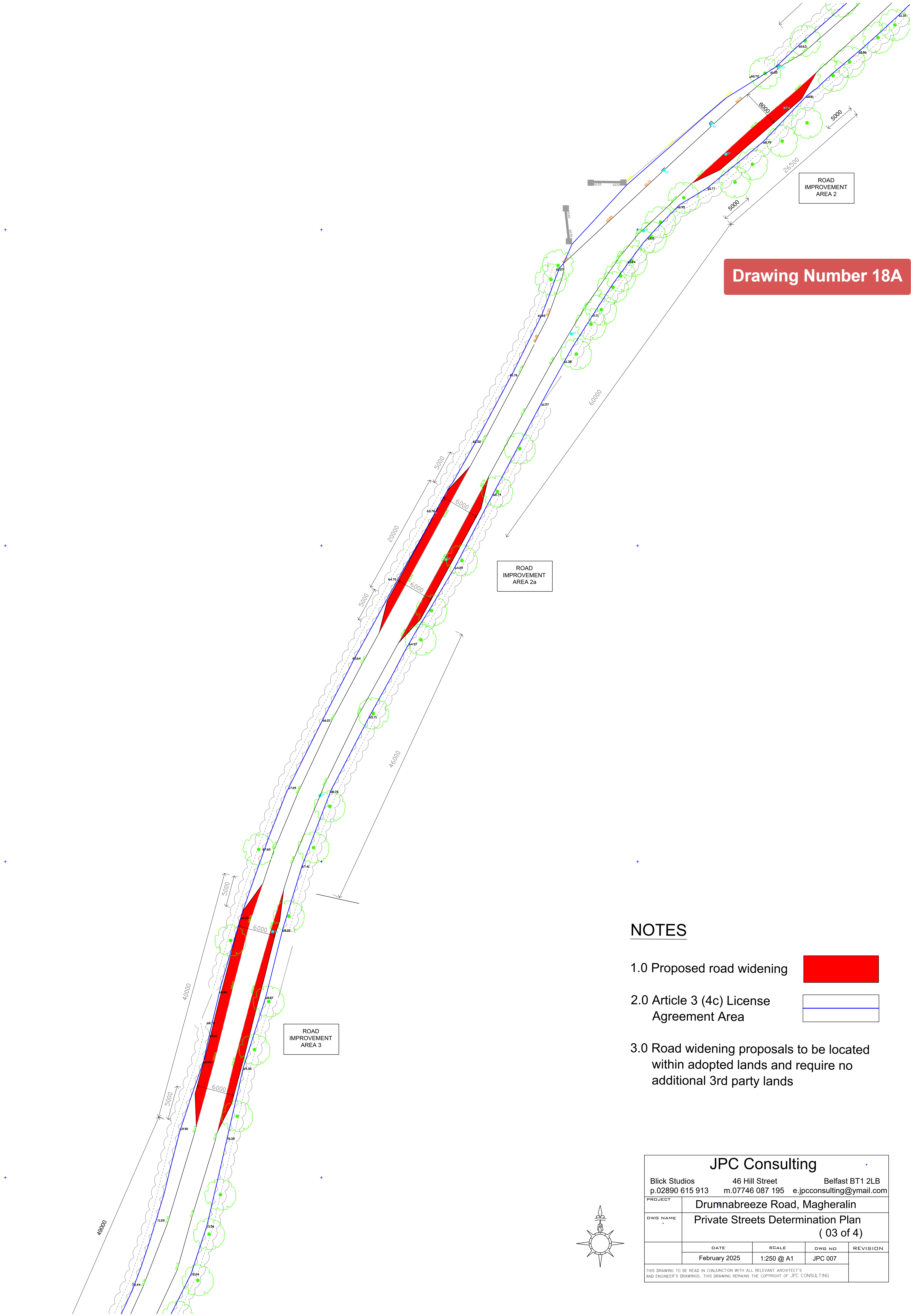


EDENMORE GOLF
& COUNTRY CLUB
ENTRANCE

NOTES

- 1.0 Proposed road widening
- 2.0 Article 3 (4c) License Agreement Area
- 3.0 Road widening proposals to be located within adopted lands and require no additional 3rd party lands





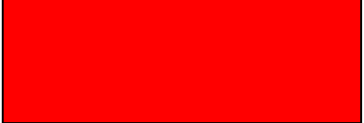
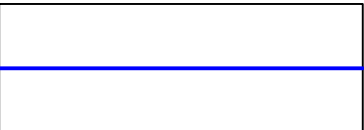
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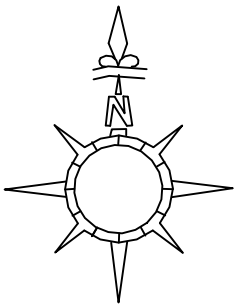
ROAD
IMPROVEMENT
AREA 2

ROAD
IMPROVEMENT
AREA 2a

ROAD
IMPROVEMENT
AREA 3

NOTES

- 1.0 Proposed road widening 
- 2.0 Article 3 (4c) License Agreement Area 
- 3.0 Road widening proposals to be located within adopted lands and require no additional 3rd party lands



JPC Consulting

Blick Studios

p.02890 615 913

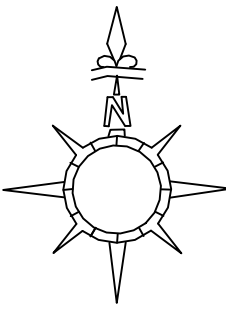
46 Hill Street

m.07746 087 195

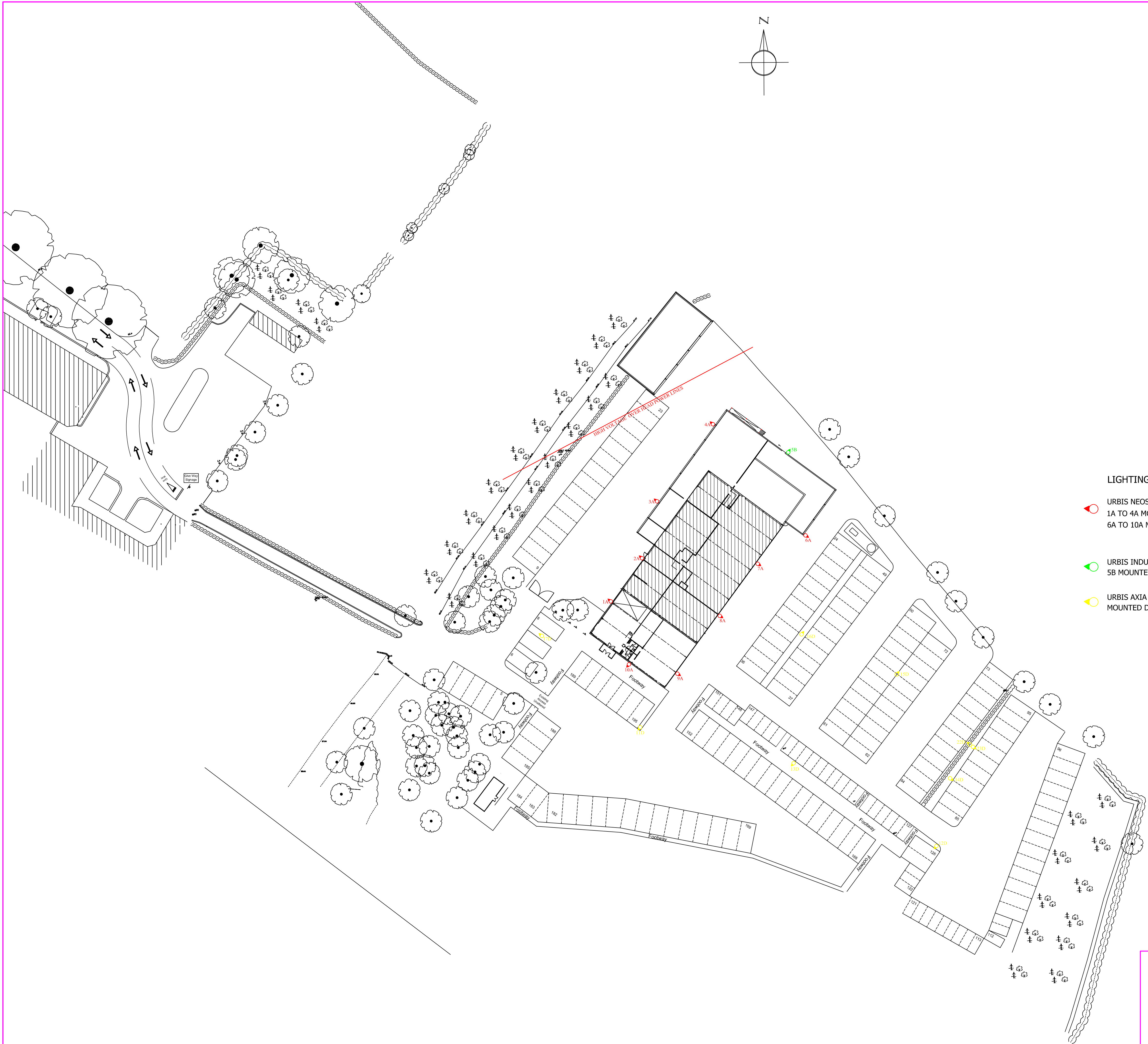
Belfast BT1 2LB

e.jpccconsulting@gmail.com

PROJECT	Drumnabreeze Road, Magheralin			
DWG NAME	Private Streets Determination Plan (03 of 4)			
	DATE	SCALE	DWG NO	REVISION
	February 2025	1:250 @ A1	JPC 007	
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Drawing Number 19A



LIGHTING LEGEND

- URBIS NEOS 2 5119 48 LED 350mA NW 50 WATT FLOOD LIGHT WALL MOUNTED AT 5 ZERO DEGREE TILT
1A TO 4A MOUNTED AT 5M HEIGHT
6A TO 10A MOUNTED AT 6M HEIGHT
- URBIS INDU WALLPACK 655015mA 4 WATT WALL LIGHT WALL MOUNTED AT ZERO DEGREE TILT
5B MOUNTED AT 4M HEIGHT
- URBIS AXIA 5241 24 LED 600mA NW 46 WATT LANTERN
MOUNTED DIRECTLY ON TOP OF 8M COLUMN AT ZERO DEGREE TILT

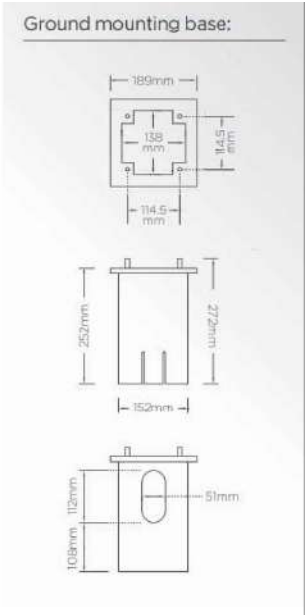
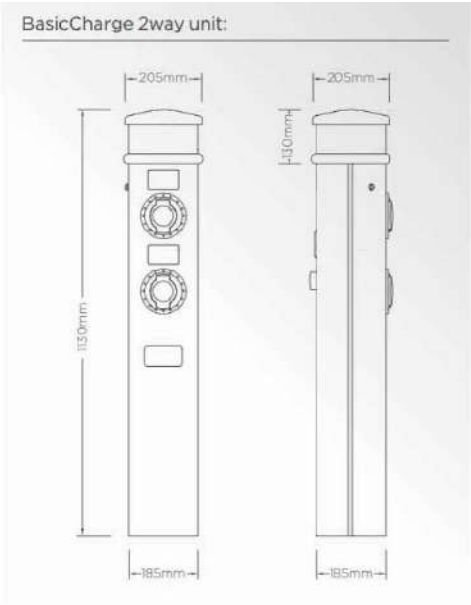
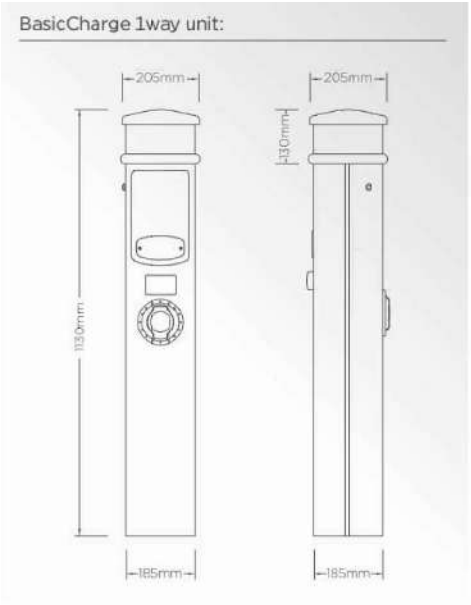
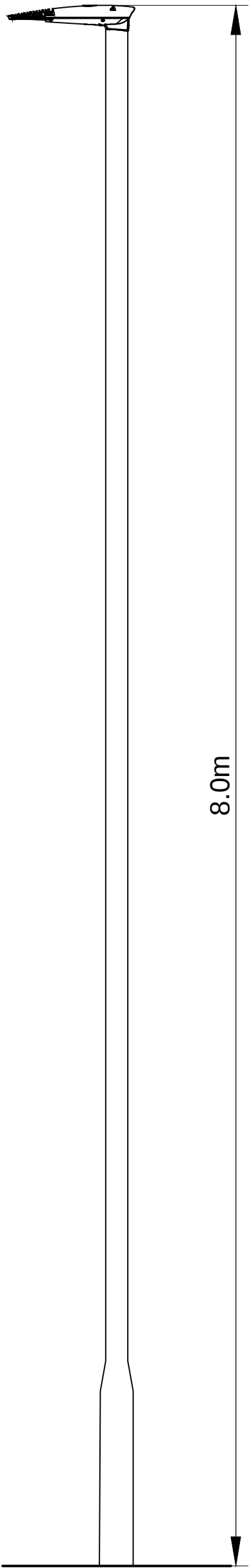
Drawing No: 20

THE NIE OVERHEAD POWER CABLES ARE HIGHLIGHTED IN RED

LIGHTING LAYOUT COMPLETED
BY MICHAEL DOHERTY
OF DOHERTY CONSULTING SERVICES
60 NORTH CIRCULAR ROAD, LURGAN
CO. ARMAGH BT67 9EB
Tel. 028 38342873
Mob. 07768 127964 E-mail michael.dohertycs@gmail.com

Project	DRUMNABREEZE RD MAGHERALIN
Drawing	EXTERNAL LIGHTING LAYOUT REV 1
Scale	1:500 @ A1
Date	16 - 09 - 2024
Drawing No.	71/DD/MN/24

DRAWING STATUS	
PRELIMINARY	☐
PLANNING SUBMISSION	☒
TENDER	☐
CONSTRUCTION ISSUE	☐
AS BUILT RECORD	☐



EV CHARGING PEDESTAL DETAILS
Scale 1:20

- Finishes:
- Lighting Column: Galvanised steel (grey)
 - EV Charging Pedestal: Aluminium (grey)

8.0m LIGHTING COLUMN
Scale 1:25



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CLIENT Thompson Leasure		
PROJECT Extension & Refurbishment of Existing Commercial Unit 62 Drumnabreeze Road Magheralin Craigavon BT67 0RH		
DATE 01-10-2024	DRAWING 8m Lampost & EV charger	
SCALE 1:20 / 1:25	DRAWING NO 16	REV



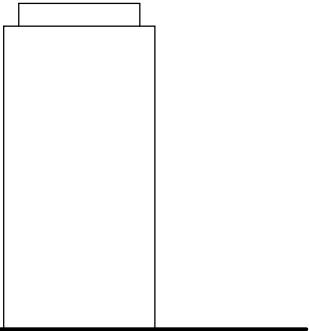
PLAN



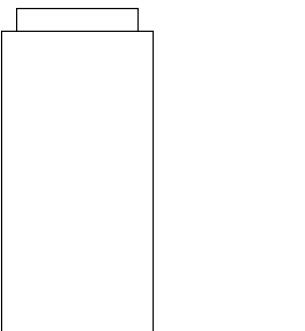
NORTH EAST ELEVATION



SOUTH WEST ELEVATION



NORTH WEST ELEVATION



SOUTH EAST ELEVATION

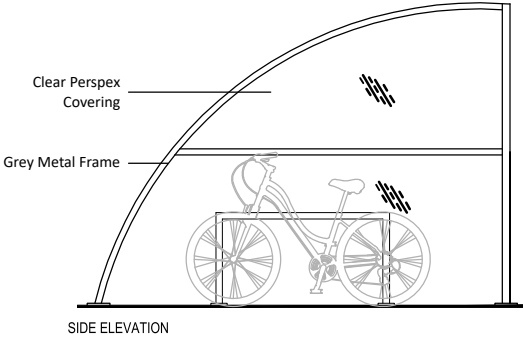
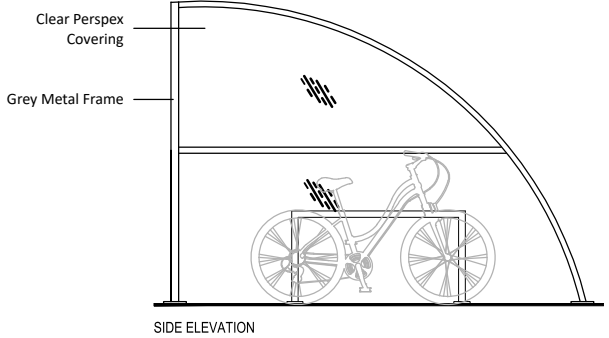
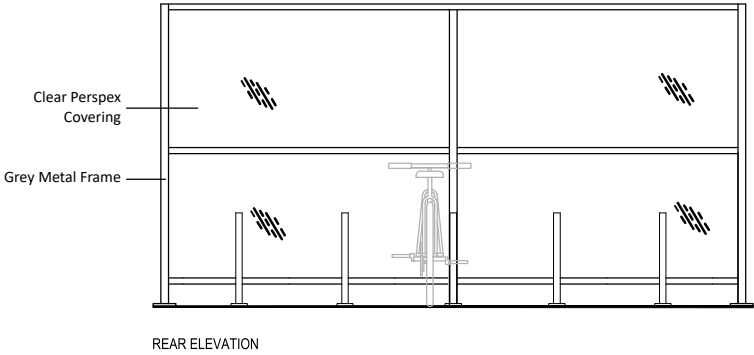
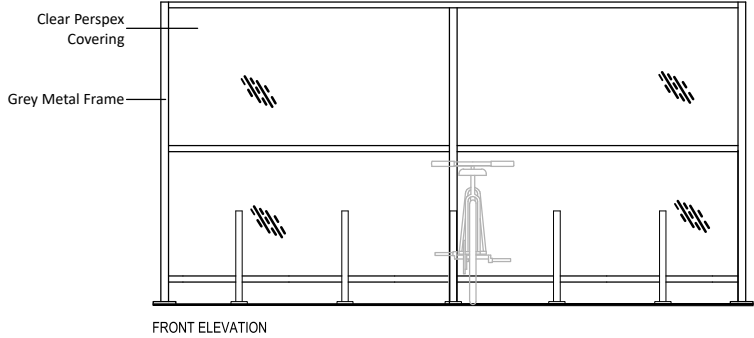
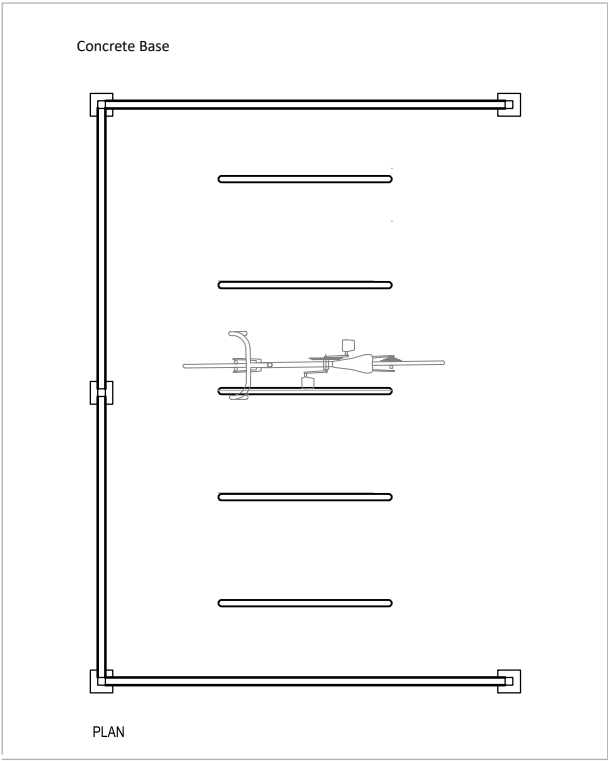
DRAWING STATUS	
PRELIMINARY	☐
PLANNING SUBMISSION	☒
TENDER	☐
CONSTRUCTION ISSUE	☐
AS BUILT RECORD	☐

Finish:
Plastic (dark green)

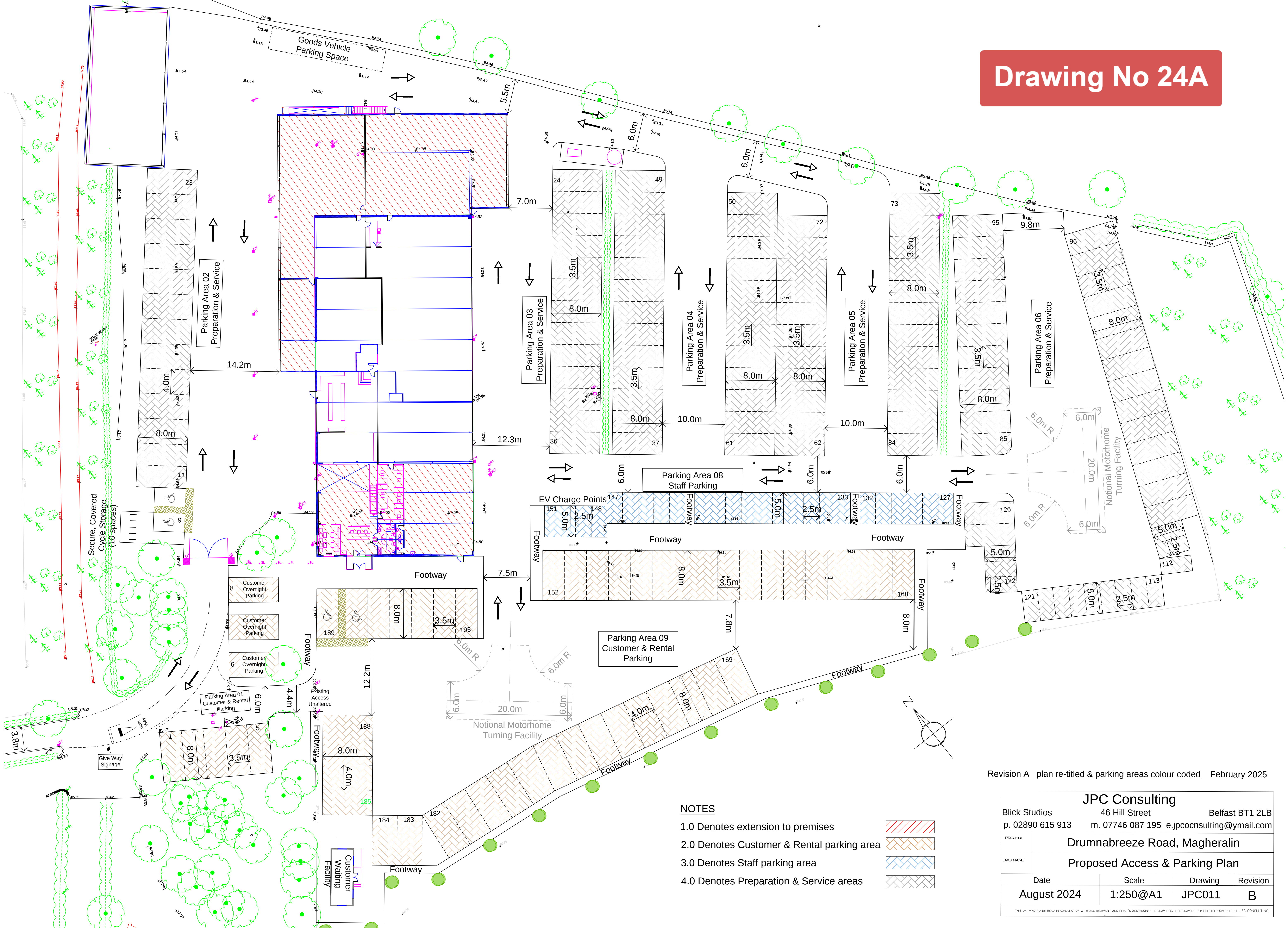


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CLIENT Thompson Leasure		
PROJECT Extension & Refurbishment of Existing Commercial Unit 62 Drumnabreeze Road Magheralin Craigavon BT67 0RH		
DATE 01-10-2024	DRAWING Rainwater Harvesting Tank	
SCALE 1:50	DRAWING NO 15	REV



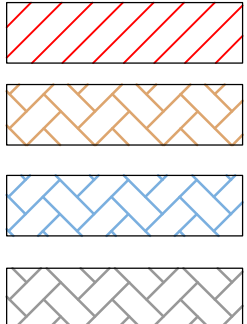
Drawing No 24A



Revision A plan re-titled & parking areas colour coded February 2025

NOTES

- 1.0 Denotes extension to premises
- 2.0 Denotes Customer & Rental parking area
- 3.0 Denotes Staff parking area
- 4.0 Denotes Preparation & Service areas



JPC Consulting			
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p. 02890 615 913		Belfast BT1 2LB	
PROJECT		Drumnabreeze Road, Magheralin	
DWG NAME		Proposed Access & Parking Plan	
Date	Scale	Drawing	Revision
August 2024	1:250@A1	JPC011	B
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Drawing Number 25A

Notes

Note:

All voleting / maintenance works to be undertaken within the main building

Key:

Storm Drainage

Foul Drainage

Vash Area Effluent

Storm Drainage Manhole

Foul Drainage Manhole

Vash Area Effluent Manhole

Lateral Drain (Surface)

Catch-all Drain (Surface)

Cream hatch indicating concrete hardstanding

Soakaway to be constructed using crates designed to be placed beneath site access roads / high traffic areas

Runoff from bitmac footways will be directed overland to the adjacent parking areas and will enter into the sub-surface storm drain via road gullies with built in silt traps

Vehicle washing area - concrete surface isolated from the surrounding concrete to ensure all water drained from this area go to treatment plant.

Lateral drainage system to collect all vehicle wash run-off and direct to treatment plant

Site storm discharge point

Full forecourt interceptor with alarm IC at inlet and sampling chamber at outlet

Vehicle refueling area - concrete surface.

Catch-all drain surrounding the refueling area and directing all run-off to forecourt interceptor to the north via a subsurface storm drain as shown at northern corner of the refueling area

Sub-surface drainage system

Grey hatch denoting gravel surface

WVTP with an IC on inlet and sampling chamber on outlet to watercourse

Discharge to open watercourse

No.	Revision	Drg by	Chk by
-----	----------	--------	--------

Thompson Leisure

62 Drumnabreeze Road

O'Sullivan Environmental

60 Dreenan Road, Upperlands, Maghera BT46 5TZ
Tel 07734366999
Email m.osullivan@osullivanenvironmental.co.uk

Drg by MOS

Date 05/03/2025

Figure 1. Site Drainage Detail

Scale NTS

Revision